



# Roseburg Urban Sanitary Authority Office and Garage Reroof

1297 NE Grandview Drive, Roseburg, OR 97470

6/19/2023

## SHEET INDEX

- T1 TITLE SHEET
  
- G001 SYMBOLS AND ABBREVIATIONS
- G010 BUILDING CODE INFORMATION
- G021 EXISTING CONDITIONS PHOTOS
- G022 EXISTING CONDITION INFORMATION
  
- A129 ROOF PLAN - OFFICE BUILDING
- A229 ROOF PLAN - GARAGE
- A361 DETAILS
- A362 DETAILS

## OWNER

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Roseburg, OR 97470  
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## ARCHITECT

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THIS DRAWING SET IS PART OF THE CONSTRUCTION DOCUMENTS SET FOR THIS PROJECT IN ADDITION TO THE PROJECT MANUAL.



VICINITY MAP



Bid and Permit Set  
Roseburg Urban Sanitary Authority  
Office Building and Garage Reroof

PROJECT: 23011  
CHECKED: CW  
DATE: 06.19.2023 REVISIONS:

Title Sheet



SYMBOLS

	GRID LINE	
	SECTION REFERENCE	DETAIL # SHEET #
	DETAIL REFERENCE	DETAIL # SHEET #
	ELEVATION REFERENCE	DETAIL # SHEET #
	ROOM NAME ROOM NUMBER	
	DOOR NUMBER. SEE SHEET A180	
	WINDOW AND/OR RELITE REFERENCE	
	WALL ASSEMBLY. SEE SHEET A160.	
	TOP OF WALL TYPE. SEE SHEET A151.	
	KEYNOTE SYMBOL	
	CEILING ELEVATION	
	VERTICAL ELEVATION REFERENCE	
	SHEAR WALL TYPE	
	HOLD DOWN TYPE	

ABBREVIATIONS

A.B.	ANCHOR BOLT	M.H.	MANHOLE
A.C.	ASPHALTIC CONCRETE	MIN.	MINIMUM
ACT	ACOUSTICAL CEILING TILE	MIR	MIRROR
ADD'L	ADDITIONAL	MISC	MISCELLANEOUS
A.D.	AREA DRAIN	M.P.	MID-POINT
AFF	ABOVE FINISH FLOOR	M.S.	MACHINE SCREW
ARCH.	ARCHITECT	MNTD	MOUNTED
BITUM.	BITUMINOUS	MTL	METAL
BD	BOARD	MUL	MULLION
B.O.	BOTTOM OF	N.I.C.	NOT IN CONTRACT
C.B.	CATCH BASIN	NLB	NON-LOAD BEARING
C.I.	CAST IRON	NOM.	NOMINAL
C.J.	CONTROL JOINT	NTS	NOT TO SCALE
CL	CENTER LINE	OC	ON CENTER
CLR	CLEAR	O.D.	OUTSIDE DIAMETER
CLG	CEILING	OFCI	OWNER FURNISHED, CONTRACTOR INSTALLED
CMU	CONCRETE MASONRY UNIT	OFOI	OWNER FURNISHED, OWNER INSTALLED
CONC	CONCRETE	OFD	OVER-FLOW DRAIN
CONT	CONTINUOUS	OPP.	OPPOSITE
CPT	CARPET	OWJ	OPEN WEB JOIST
C.T.	CERAMIC TILE	PCF	POUNDS PER CUBIC FEET
D.L.	DEAD LOAD	PEMB	PRE-ENGINEERED METAL BUILDING
DIA. (Ø)	DIAMETER	PL	PLATE
DS	DOWNSPOUT	PLN	PLAN
DWG	DRAWING	PLUMB	PLUMBING
E.W.	EACH WAY	PNT	PAINT
EXST	EXISTING	P.B.	PORCELAIN TILE
E.P.	EXPANSION JOINT	PSI	POUNDS PER SQUARE INCH
ELEC	ELECTRICAL	PSF	POUNDS PER SQUARE FEET
ELEV	ELEVATION	PT	POST TENSION
EQ	EQUAL	PTN	PARTITION
EXT	EXTERIOR	RAD	RADIUS
F.A.	FIRE ALARM	RCP	REFLECTED CEILING PLAN
F.D.	FLOOR DRAIN	RD	ROOF DRAIN
F.E.	FIRE EXTINGUISHER	REF.	REFERENCE
F.E.C.	FIRE EXTINGUISHER CABINET	REINF	REINFORCING
FFE	FINISH FLOOR ELEVATION	REQ'D	REQUIRED
FIN.	FINISH	R.O.	ROUGH OPENING
FLR.	FLOOR	S.C.	SOLID CORE
F.O.	FACE OF	SCHED	SCHEDULE
FRM'G	FRAMING	SHT	SHEET
FT.	FOOT	SIM	SIMILAR
FTG	FOOTING	SM	SHEET METAL
FTR	FUTURE	SMS	SHEET METAL SCREW
GA	GAUGE	SOG	SLAB ON GRADE
GALV.	GALVANIZED	SPEC	SPECIFICATIONS
GL	GRID LINE	SQ	SQUARE
GLB	GLUE LAM BEAM	SS	STAINLESS STEEL
GB	GRAB BAR	STD	STANDARD
GND	GROUND	STRUCT.	STRUCTURAL
GYP	GYP SUM	S.T.S	SELF-TAPPING SCREW
GALV.	INCH	SUSP.	SUSPEND
H.B.	HOSE BIB	SYM.	SYMMETRICAL
H.M.	HOLLOW METAL	THRU	THROUGH
HOR.	HORIZONTAL	T&B	TOP AND BOTTOM
HSS	HOLLOW STRUCTURAL STEEL	T.O.	TOP OF
I.D.	INSIDE DIMENSION	THK.	THICK
INT	INTERIOR	TRD.	THREAD
J.B.	JUNCTION BOX	T&G	TONGUE AND GROOVE
JT	JOINT	TB	TOWEL BAR
LAM.	LAMINATE	TJ	TRUSS JOIST
LBS.	POUNDS	TYP	TYPICAL
L.L.	LIVE LOAD	UNO	UNLESS NOTED OTHERWISE
LOC.	LOCATION	VERT.	HORIZONTAL
LONG.	LONGITUDINAL	VER.	VERIFY
MAX.	MAXIMUM	V.I.C.	VERIFY IN FIELD
MDF	MEDIUM DENSITY FIBERBOARD	V.T.R.	VENT THROUGH ROOF
MDO	MEDIUM DENSITY OVERLAY	WC	WATER CLOSET
MECH	MECHANICAL	WF	WIDE FLANGE
MEP	MECHANICAL, ELECTRICAL, PLUMBING	W/	WITH
MEMB.	MEMBRANE	W/O	WITHOUT
MFR	MANUFACTURER	W.O.	WINDOW OPENING
		WOM	WALK OFF MAT

# WILSON ARCHITECTURE

wilson-architecture.com | 541-912-0878



Bid and Permit Set  
Roseburg Urban Sanitary Authority  
Office Building and Garage Reroof

Abbreviations, Symbols, and  
Standard Components

PROJECT: 23011  
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G001



### SCOPE OF WORK SUMMARY

ROOF REPLACEMENT OF OFFICE BUILDING AND GARAGE. ADD FALL RESTRAINT SYSTEM TO OFFICE BUILDING ROOF.

### PERMIT HISTORY

ORIGINAL CONSTRUCTION 1989

### BUILDING CODE NOTES

#### GENERAL INFORMATION

ADDRESS: 1297 NE GRANDVIEW DRIVE  
ROSEBURG, OR 97470

DATE OF ORIGINAL CONSTRUCTION: 1989

GROSS ROOF AREA	TOTAL
OFFICE BUILDING	
LOWER ROOF AREA	3,820 sf
UPPER ROOF AREA	1,640 sf
TOTAL ROOF AREA	5,460 sf

GARAGE	
TOTAL ROOF AREA	2,300 sf

APPLICABLE CODE: 2022 OSSC

CONSTRUCTION TYPE: TYPE V-B (602.5)

PERMIT NUMBER: tbd

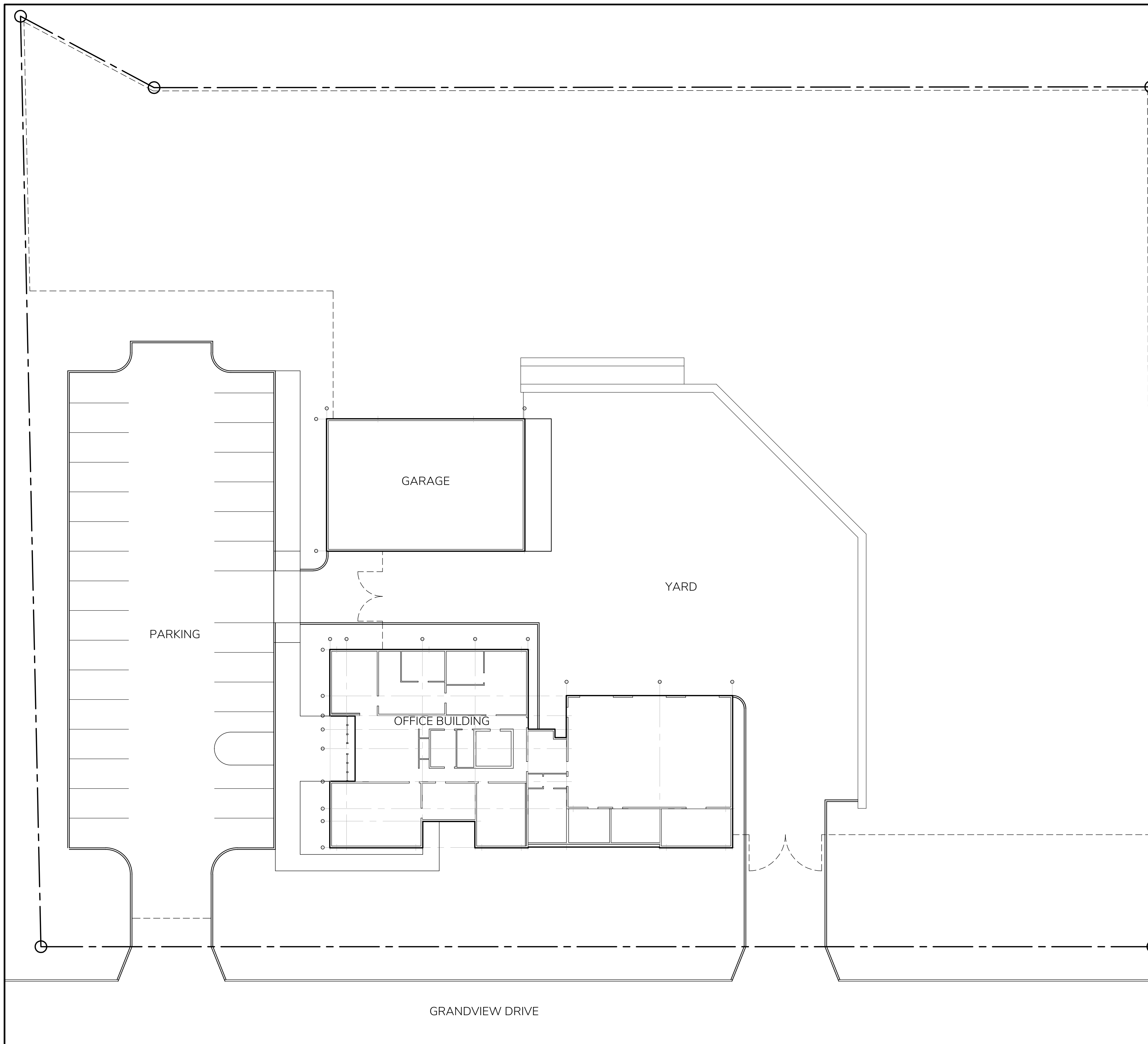
Bid and Permit Set  
Roseburg Urban Sanitary Authority  
Office Building and Garage Reroof

PROJECT: 23011 Building Code Information

CHECKED: CW

DATE: 06.19.2023 REVISIONS:

G010



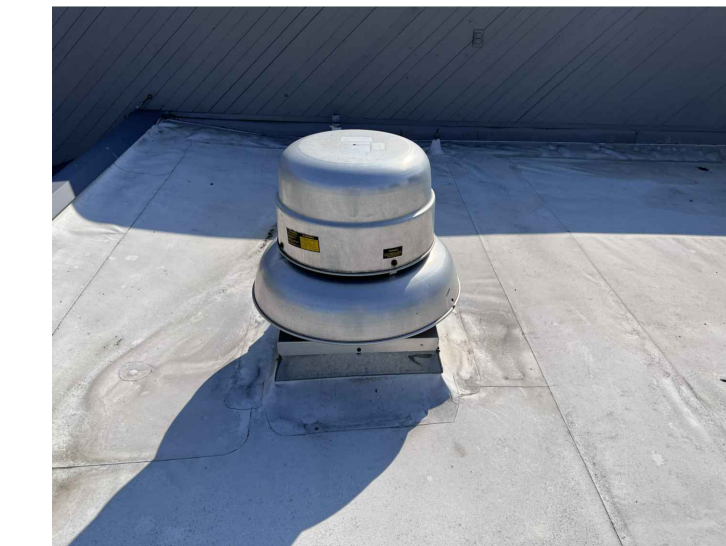
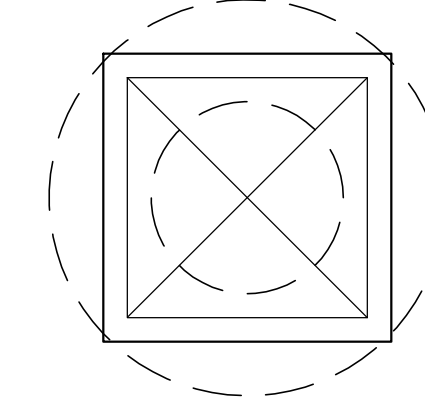
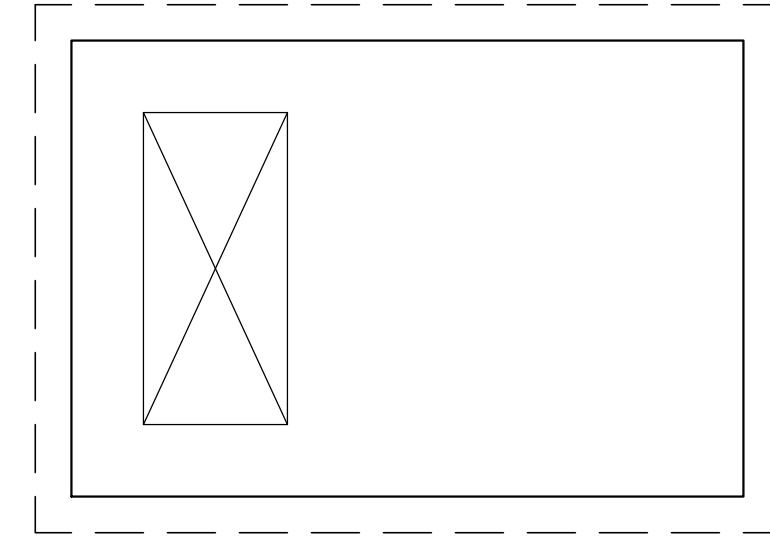
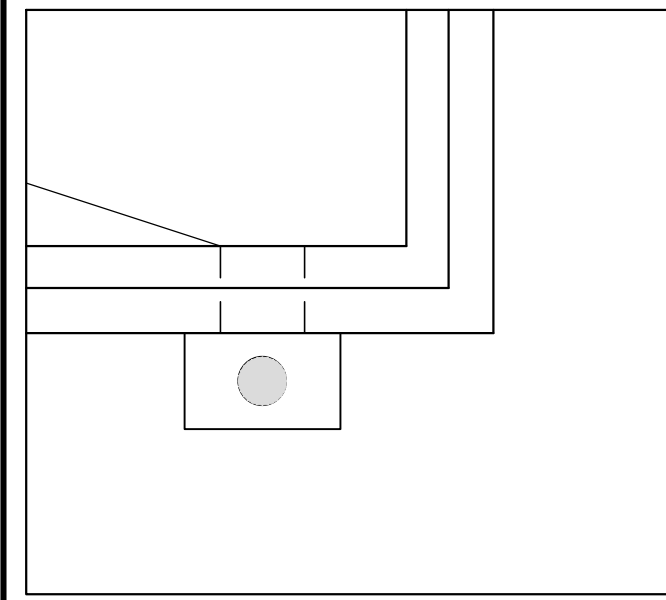
1/8" = 1'-0"

Floor and Site Plan **1**





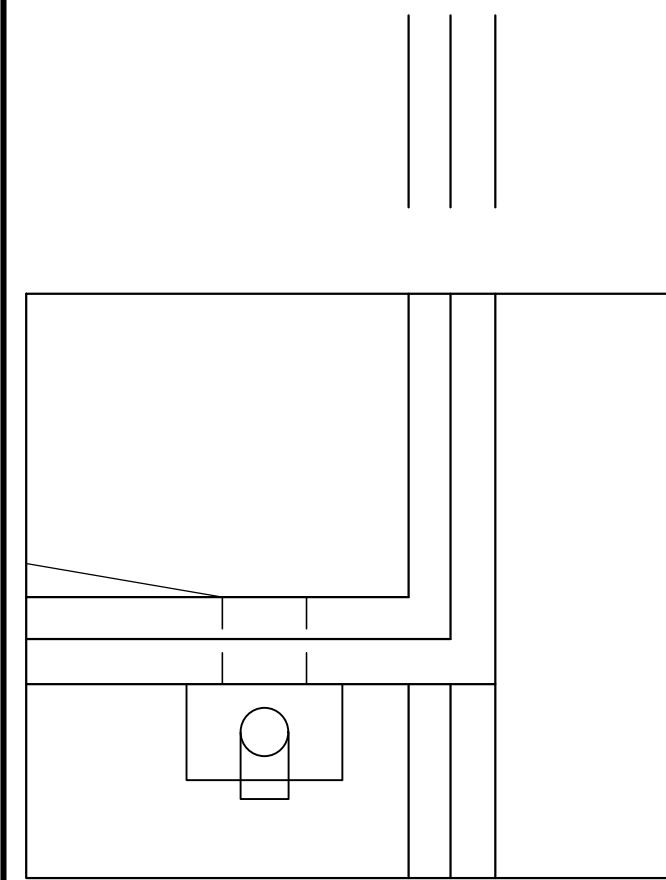
- GENERAL NOTES**
- a. INFORMATION ON THIS SHEET IS INTENDED TO PROVIDE AN GENERAL UNDERSTANDING OF EXISTING CONDITIONS. THIS INFORMATION IS NOT COMPREHENSIVE AND ALL BIDDERS ARE EXPECTED TO VISIT THE SITE AND REVIEW EXISTING CONDITIONS DURING THE BID PERIOD.
  - b. IMAGES ON THIS SHEET ARE OF THE OFFICE BUILDING.



7  
NTS

Roof Top Unit  
Existing 4  
NTS

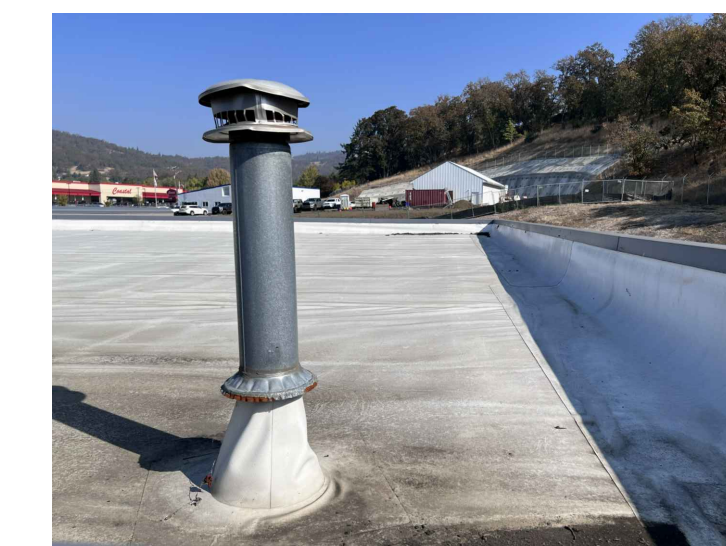
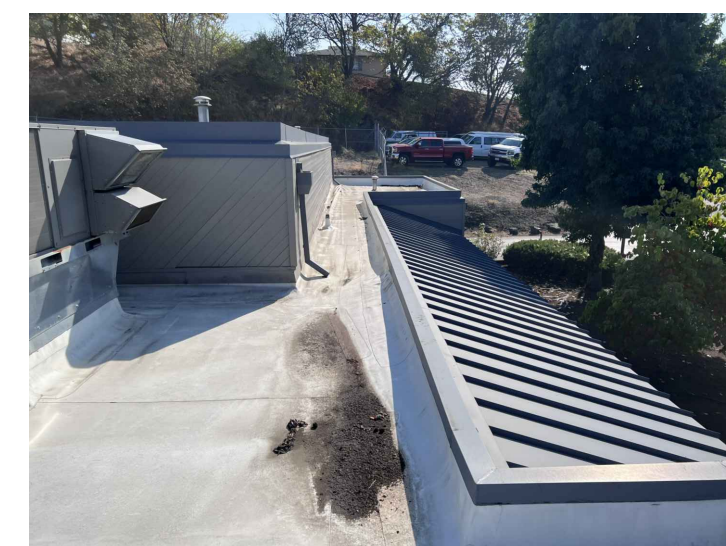
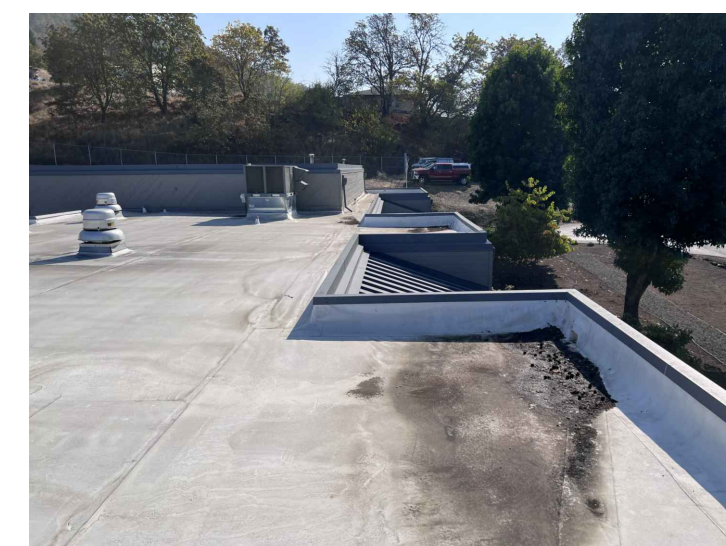
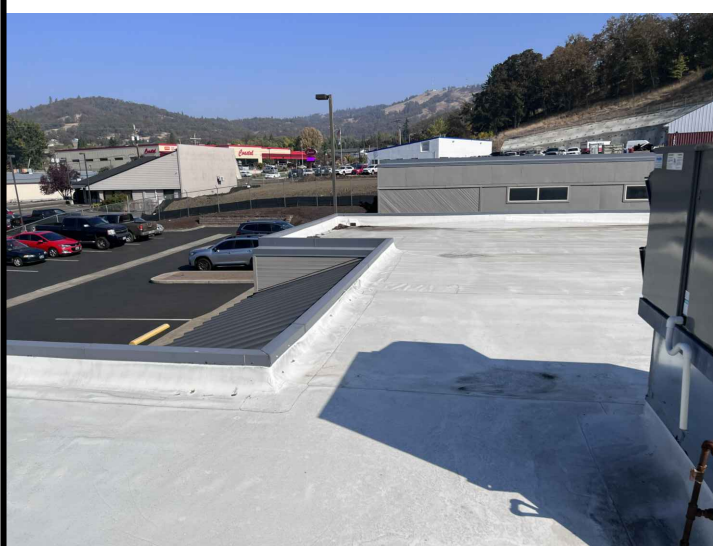
Exhaust Fan  
Existing 1



8  
NTS

Antenna  
Existing 5  
NTS

Plumbing Vent  
Existing 2



NTS

9

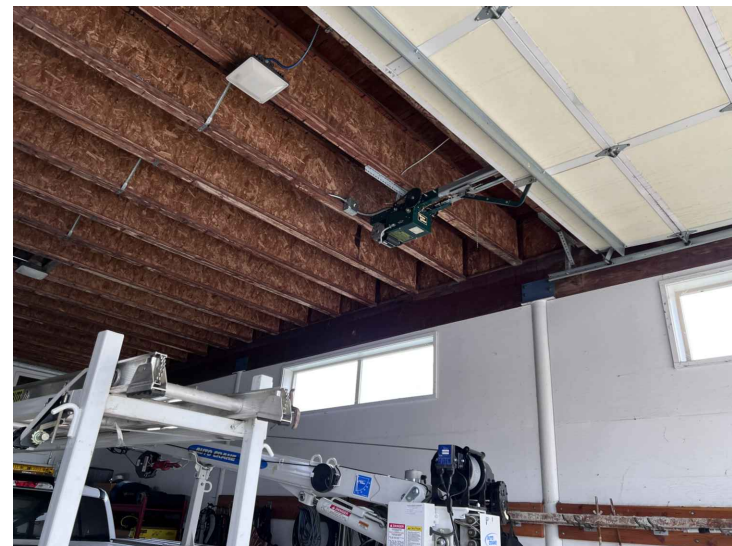
Main Roof Area  
Bottom Row - Photos of West Area 6  
NTS

Gas Flue  
Existing - Upper Roof Over Vehicle Bays 3

Bid and Permit Set  
Roseburg Urban Sanitary Authority  
Office Building and Garage Reroof

Existing Conditions Images  
PROJECT: 23011  
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Garage - Roof Structure  
Existing 7



Garage - Roof Area Looking North  
Existing 4



Garage - Roof Area Looking East  
Existing 1

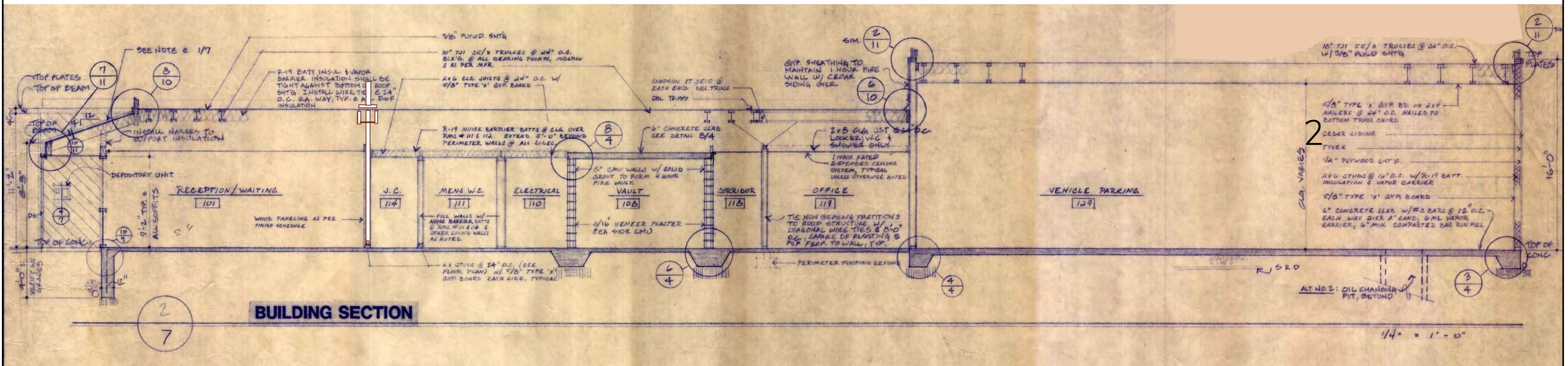
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NTS

NTS

NTS



Representative Building Section - Office Building  
NTS North-South Building Section, Detail 2, Sheet 7 from Original Drawing Set Dated August 16, 1989

Bid and Permit Set  
Roseburg Urban Sanitary Authority  
Office Building and Garage Reroof

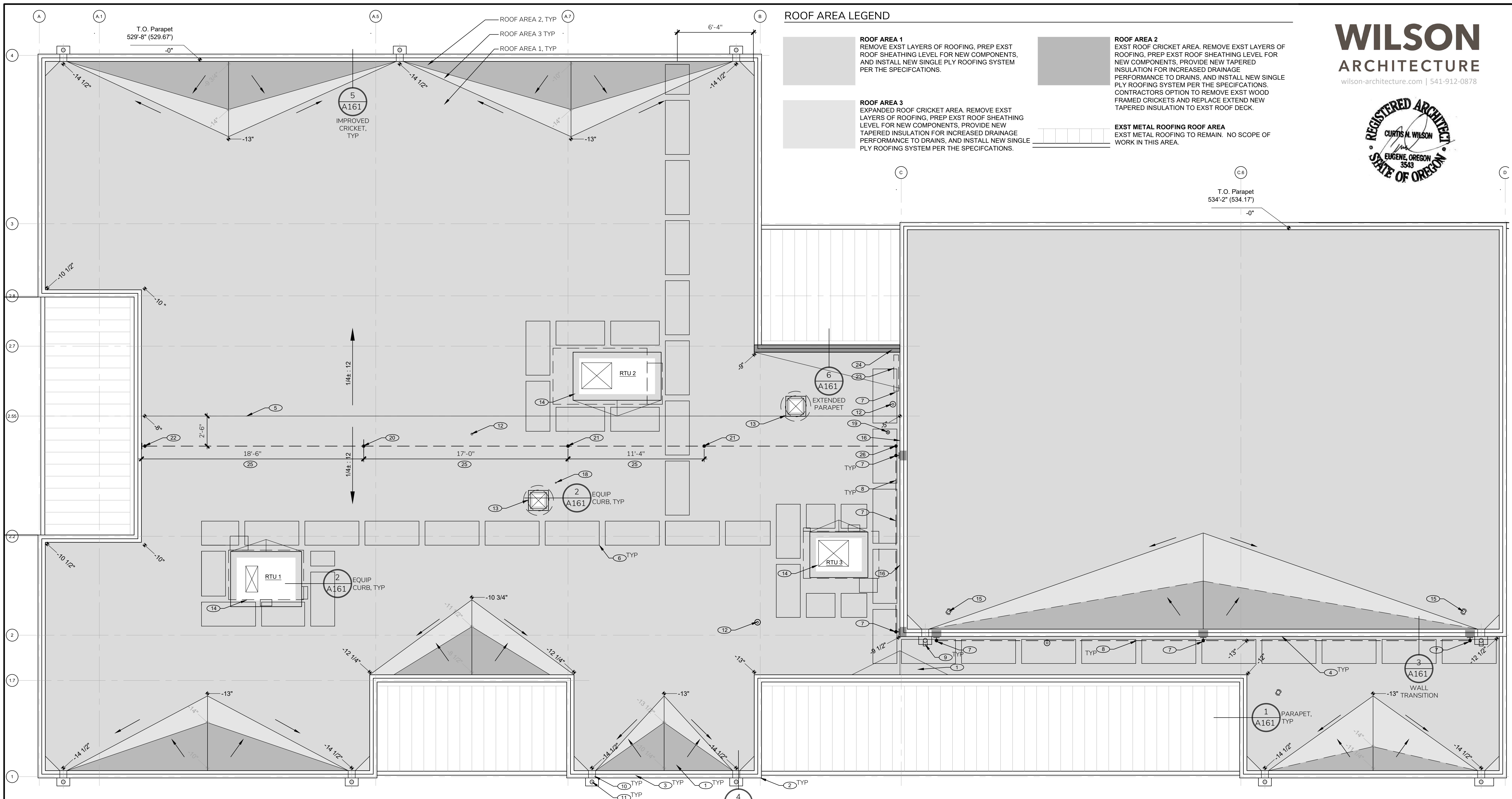




## ROOF AREA LEGEND

- ROOF AREA 1**  
REMOVE EXST LAYERS OF ROOFING, PREP EXST ROOF SHEATHING LEVEL FOR NEW COMPONENTS, AND INSTALL NEW SINGLE PLY ROOFING SYSTEM PER THE SPECIFICATIONS.
- ROOF AREA 2**  
EXST ROOF CRICKET AREA. REMOVE EXST LAYERS OF ROOFING, PREP EXST ROOF SHEATHING LEVEL FOR NEW COMPONENTS, PROVIDE NEW TAPERED INSULATION FOR INCREASED DRAINAGE PERFORMANCE TO DRAINS, AND INSTALL NEW SINGLE PLY ROOFING SYSTEM PER THE SPECIFICATIONS. CONTRACTORS OPTION TO REMOVE EXST WOOD FRAMED CRICKETS AND REPLACE EXTEND NEW TAPERED INSULATION TO EXST ROOF DECK.
- ROOF AREA 3**  
EXPANDED ROOF CRICKET AREA. REMOVE EXST LAYERS OF ROOFING, PREP EXST ROOF SHEATHING LEVEL FOR NEW COMPONENTS, PROVIDE NEW TAPERED INSULATION FOR INCREASED DRAINAGE PERFORMANCE TO DRAINS, AND INSTALL NEW SINGLE PLY ROOFING SYSTEM PER THE SPECIFICATIONS.

- EXST METAL ROOFING ROOF AREA**  
EXST METAL ROOFING TO REMAIN. NO SCOPE OF WORK IN THIS AREA.

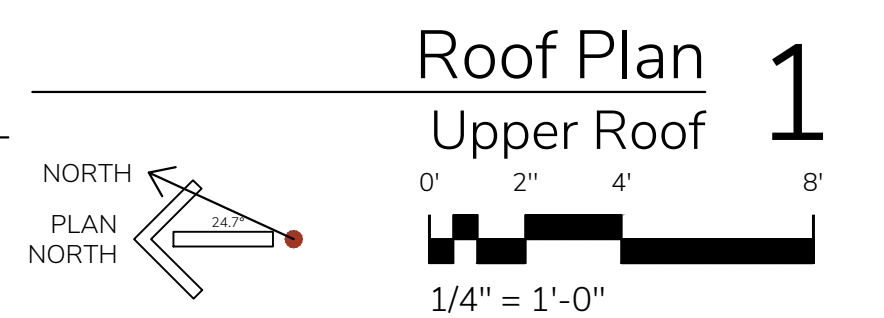


### GENERAL NOTES - ROOF PLAN

- a. GRID LINE DIMENSION ARE APPROXIMATE, AND BASED ON INFORMATION IN THE ORIGINAL CONSTRUCTION DOCUMENT SET, AND PROVIDED FOR REFERENCE ONLY. FIELD VERIFY ALL DIMENSIONS.
- b. ELEVATIONS AT ROOFING SURFACE LEVEL ARE RELATIVE TO THE PARAPET ELEVATION.
- c. AFTER EXPOSING EXST ROOF SHEATHING AND PRIOR TO INSTALLING COMPONENTS OF NEW ROOF ASSEMBLY, REVIEW CONDITION OF EXST ROOF SHEATHING WITH OWNER OR ARCHITECT, AND IMPROVE IF DIRECTED. IMPROVEMENTS TO THE EXST ROOF SHEATHING WILL BE MANAGED AS A CHANGE TO THE CONSTRUCTION CONTRACT.

### KEYNOTES - ROOF PLAN

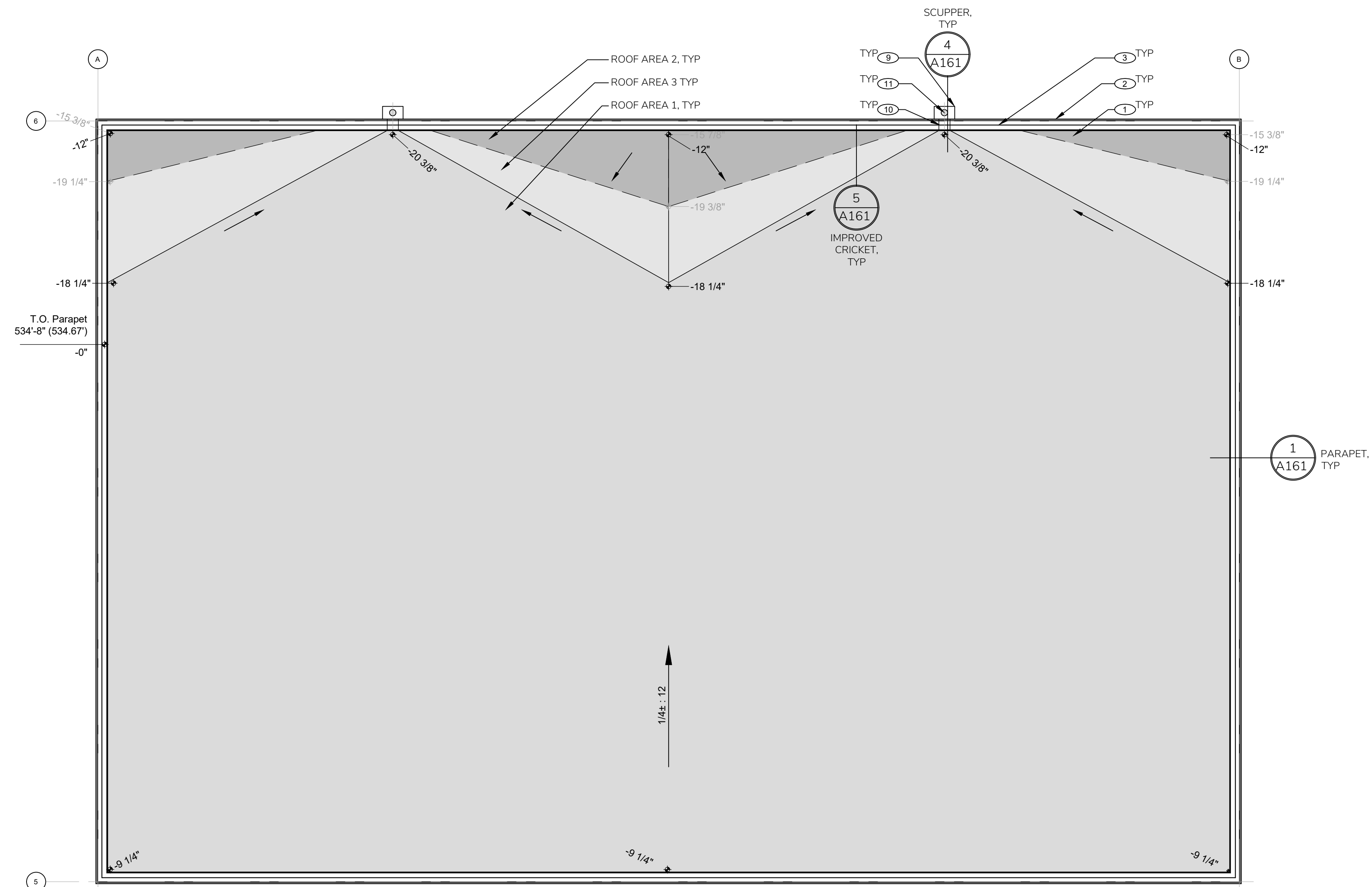
1. EXST CRICKET. SEE ROOF AREA 2.
2. EXST PARAPET WALL.
3. PARAPET CAP FLASHING. DEMO EXST AND REPLACE WITH NEW PER 1/A161.
4. EXST WALL SEPARATING LOWER ROOF LEVEL FROM UPPER ROOF LEVEL.
5. RIDGE.
6. NEW WALKWAY PADS.
7. NEW ROOF SAFETY TIE-DOWN ANCHOR AT WALL. SEE 1/A162 FOR NEW SUPPORT IN WALL AND REPAIRS.
8. ROOF SAFETY CABLE. SEE SPEC SECTION 07 7000 - ROOF ACCESSORIES.
9. EXST SCUPPER LEADERHEAD AND DOWNSPOUT. SEE 4/A161.
10. IMPROVED SCUPPER. REMOVE EXISTING FLASHINGS AT SCUPPER AND EXPOSE ORIGINAL FRAMING. PROVIDE NEW SCUPPER FLASHING ASSEMBLY PER 4/A161.
11. DOWNSPOUT FROM SCUPPER LEADERHEAD AT UPPER ROOF SECTION THAT DAYLIGHTS TO LOWER ROOF. REPLACE WITH NEW.
12. EXST PLUMBING VENT. PROVIDE NEW PIPE BOOT.
13. EXST ROOF TOP EXHAUST FAN ON CURB. SEE 2/A161.
14. EXST HVAC ROOF TOP UNIT ON CURB. SEE 2/A161.
15. EXST GAS FLUE PENETRATING ROOF. PROVIDE NEW HIGH-TEMP PIPE BOOT.
16. EXST WALL-MOUNTED LOUVER. PROTECT FROM DAMAGE.
17. EXST WALL-MOUNTED ELECTRICAL OUTLET. PROTECTION FROM DAMAGE.
18. EXST SENSOR. PROTECTION FROM DAMAGE.
19. EXST ROOF PENETRATION. PROVIDE NEW PIPE BOOT.
20. NEW ROOF SAFETY TIE-DOWN ANCHOR SECURED TO ROOF DECK AND LOCATED OVER EXST WOOD STUD WALL. SEE 2/A162 FOR NEW SUPPORT IN WALL AND REPAIRS.
21. NEW ROOF SAFETY TIE-DOWN ANCHOR SECURED TO ROOF DECK AND LOCATED OVER EXST CONCRETE MASONRY WALL. SEE 3/A162 FOR NEW SUPPORT IN WALL AND REPAIRS.
22. NEW ROOF SAFETY TIE-DOWN ANCHOR SECURED TO ROOF DECK AND LOCATED OVER EXST WOOD STUD PERIMETER WALL. SEE 4/A162 FOR NEW SUPPORT IN WALL AND REPAIRS.
23. WALL-MOUNTED HVAC UNIT TO BE INSTALLED BY OWNER
24. EXTEND EXST PARAPET WALL FOR THIS SECTION OF WALL SEE 6/A161.
25. DIMENSIONS FOR ROOF ANCHOR PLACEMENT IS APPROXIMATE. THE INTENTION IS TO PLACE THE NEW ANCHORS OVER EXST WALLS BELOW. FIELD VERIFY WALL LOCATIONS.
26. NEW ROOF SAFETY TIE-DOWN ANCHOR SECURED TO ROOF DECK AND LOCATED ADJACENT TO EXST WOOD STUD PERIMETER WALL. SEE 5/A162 FOR NEW SUPPORT IN WALL AND REPAIRS.



Roof Plan 1  
Upper Roof

**Bid and Permit Set**  
Roseburg Urban Sanitary Authority  
**Office Building and Garage Reroof**  
Office Building

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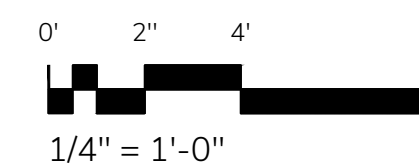
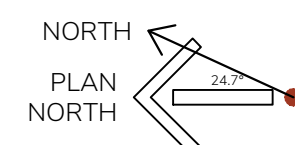


**GENERAL NOTES - ROOF PLAN**

- a. SEE SHEET A129 FOR GENERAL NOTES APPLICABLE TO THIS SHEET.

**KEYNOTES - ROOF PLAN**

- 1. SEE SHEET A129 FOR KEYNOTES APPLICABLE TO THIS SHEET.



Roof Plan 1  
Garage 1

**ROOF AREA LEGEND**

<p><b>ROOF AREA 1</b> REMOVE EXST LAYERS OF ROOFING, PREP EXST ROOF SHEATHING LEVEL FOR NEW COMPONENTS, AND INSTALL NEW SINGLE PLY ROOFING SYSTEM PER THE SPECIFICATIONS.</p>	<p><b>ROOF AREA 2</b> EXST ROOF CRICKET AREA. REMOVE EXST LAYERS OF ROOFING, PREP EXST ROOF SHEATHING LEVEL FOR NEW COMPONENTS, PROVIDE NEW TAPERED INSULATION FOR INCREASED DRAINAGE PERFORMANCE TO DRAINS, AND INSTALL NEW SINGLE PLY ROOFING SYSTEM PER THE SPECIFICATIONS. CONTRACTORS OPTION TO REMOVE EXST WOOD FRAMED CRICKETS AND REPLACE EXST NEW TAPERED INSULATION TO EXST ROOF DECK.</p>
<p><b>ROOF AREA 3</b> EXPANDED ROOF CRICKET AREA. REMOVE EXST LAYERS OF ROOFING, PREP EXST ROOF SHEATHING LEVEL FOR NEW COMPONENTS, PROVIDE NEW TAPERED INSULATION FOR INCREASED DRAINAGE PERFORMANCE TO DRAINS, AND INSTALL NEW SINGLE PLY ROOFING SYSTEM PER THE SPECIFICATIONS.</p>	<p><b>EXST METAL ROOFING ROOF AREA</b> EXST METAL ROOFING TO REMAIN. NO SCOPE OF WORK IN THIS AREA.</p>

**Bid and Permit Set**  
Roseburg Urban Sanitary Authority  
**Office Building and Garage Reroof**  
Garage Building

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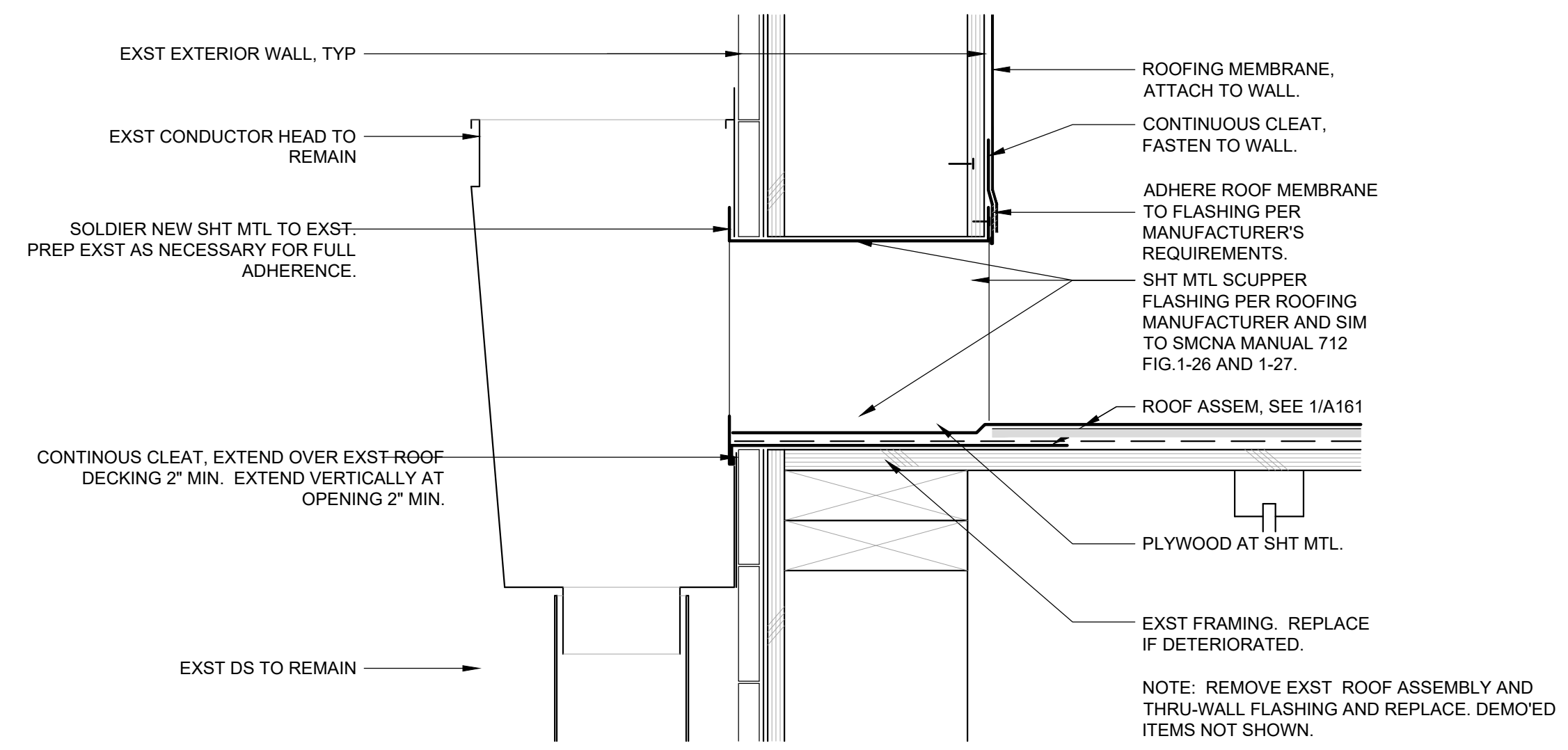
Roof Plan





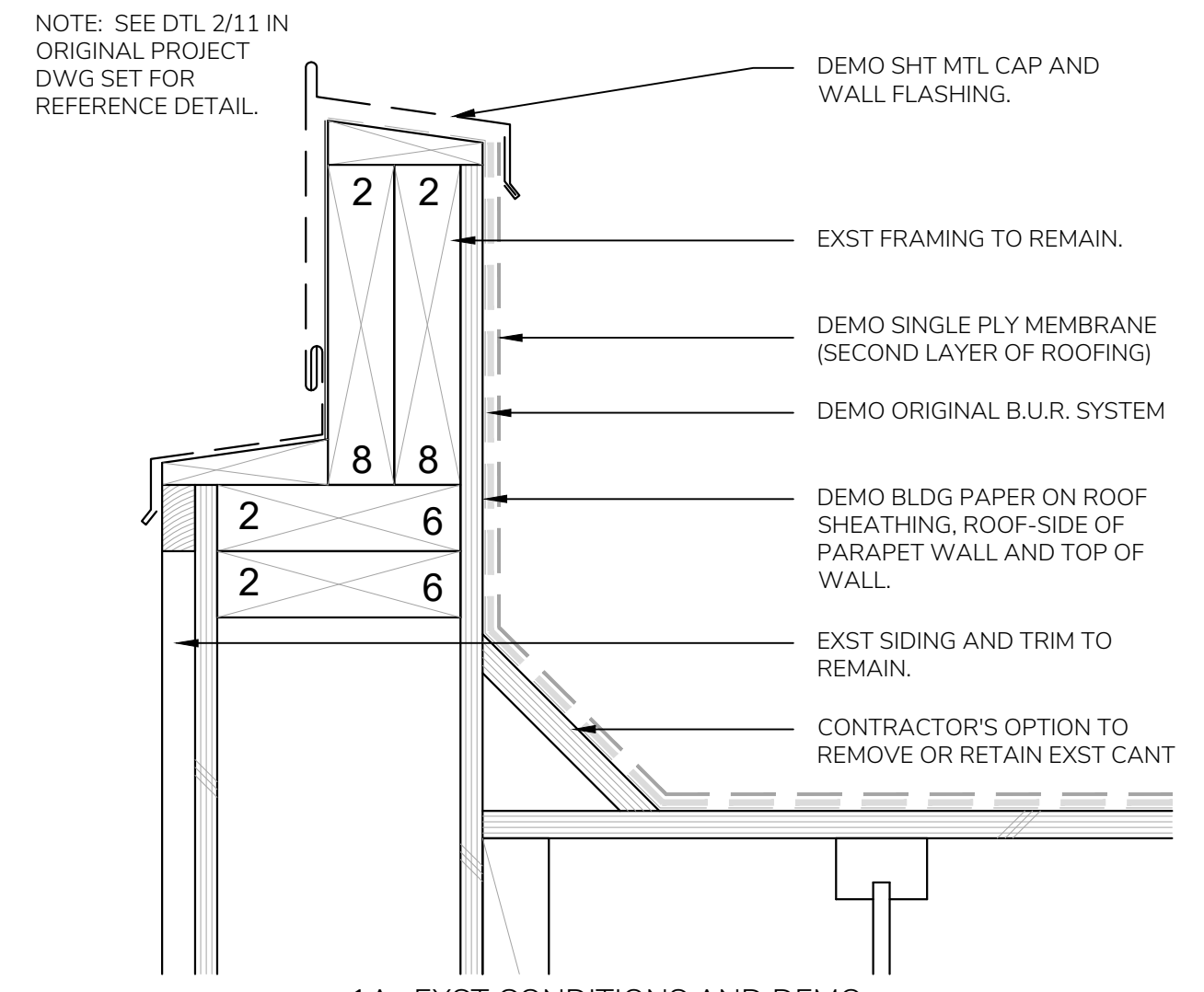
**GENERAL NOTES**

- a. EXISTING INSULATION NOT SHOWN FOR CLARITY OF OTHER CONDITIONS. PER THE ORIGINAL BUILDING DRAWINGS CIRCA 1989, THE EXTERIOR WALL AND ROOF FRAMING CAVITIES ARE FILLED WITH BATT INSULATION.

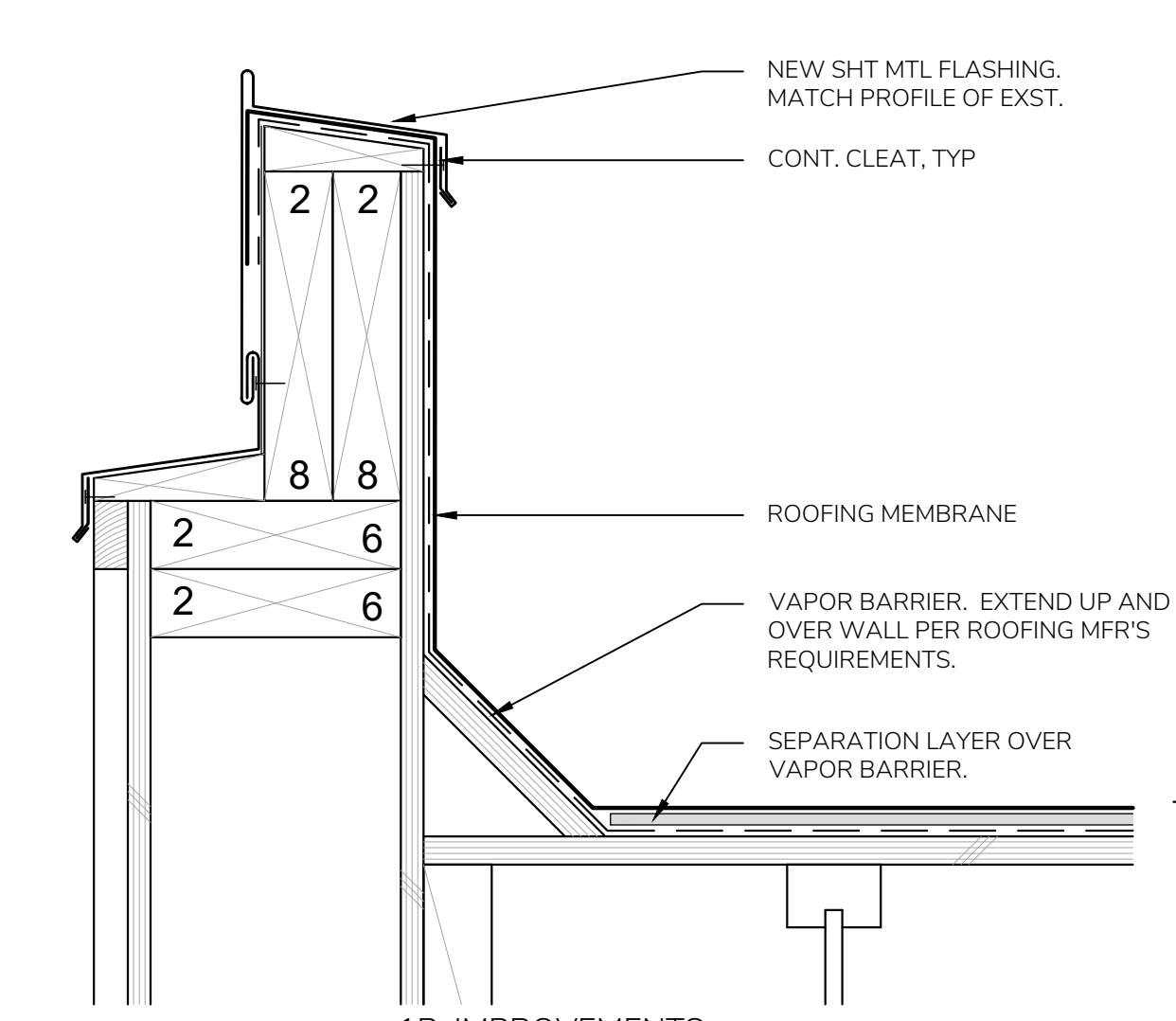


**Scupper** 4  
Section

3" = 1'-0"



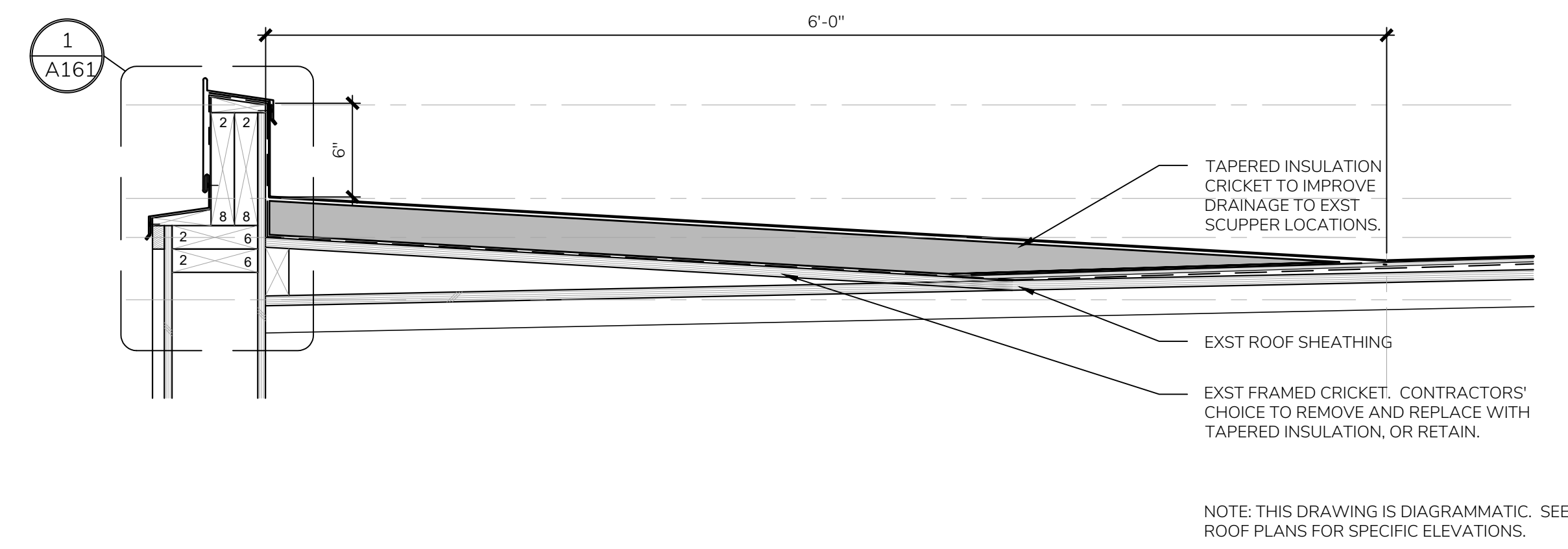
1A. EXST CONDITIONS AND DEMO



1B. IMPROVEMENTS

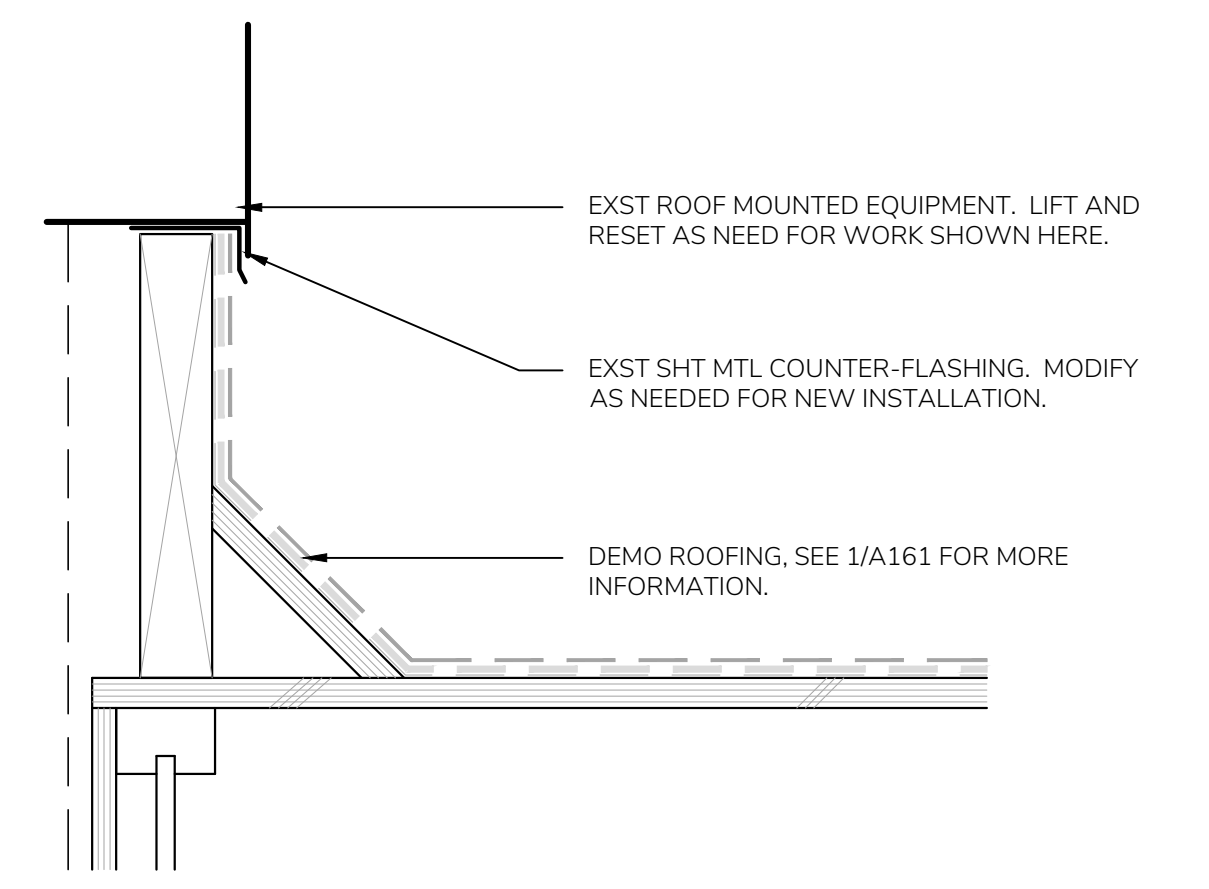
**Parapet Cap and Typ Roofing** 1  
Section

3" = 1'-0"

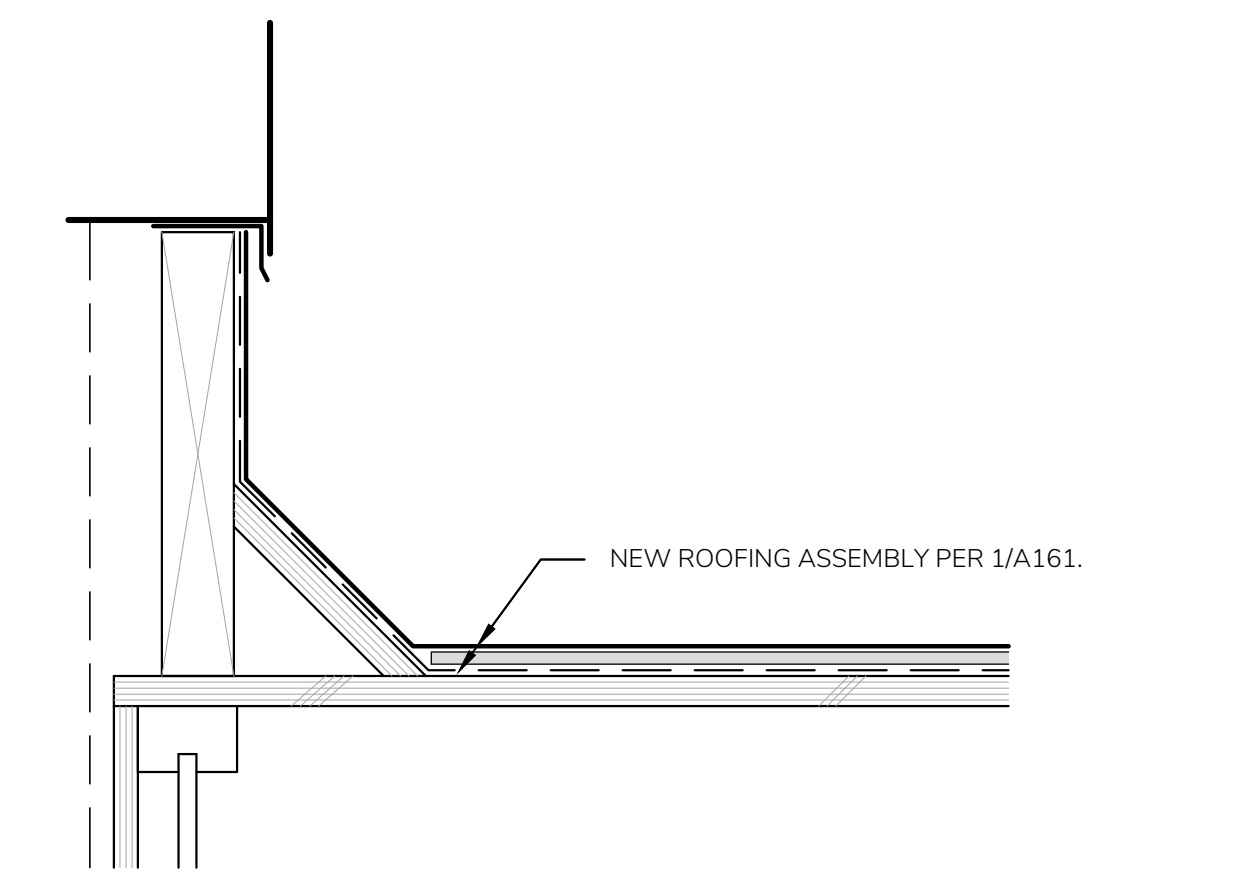


**Enhanced Crickets** 5  
SECTION

1 1/2" = 1'-0"



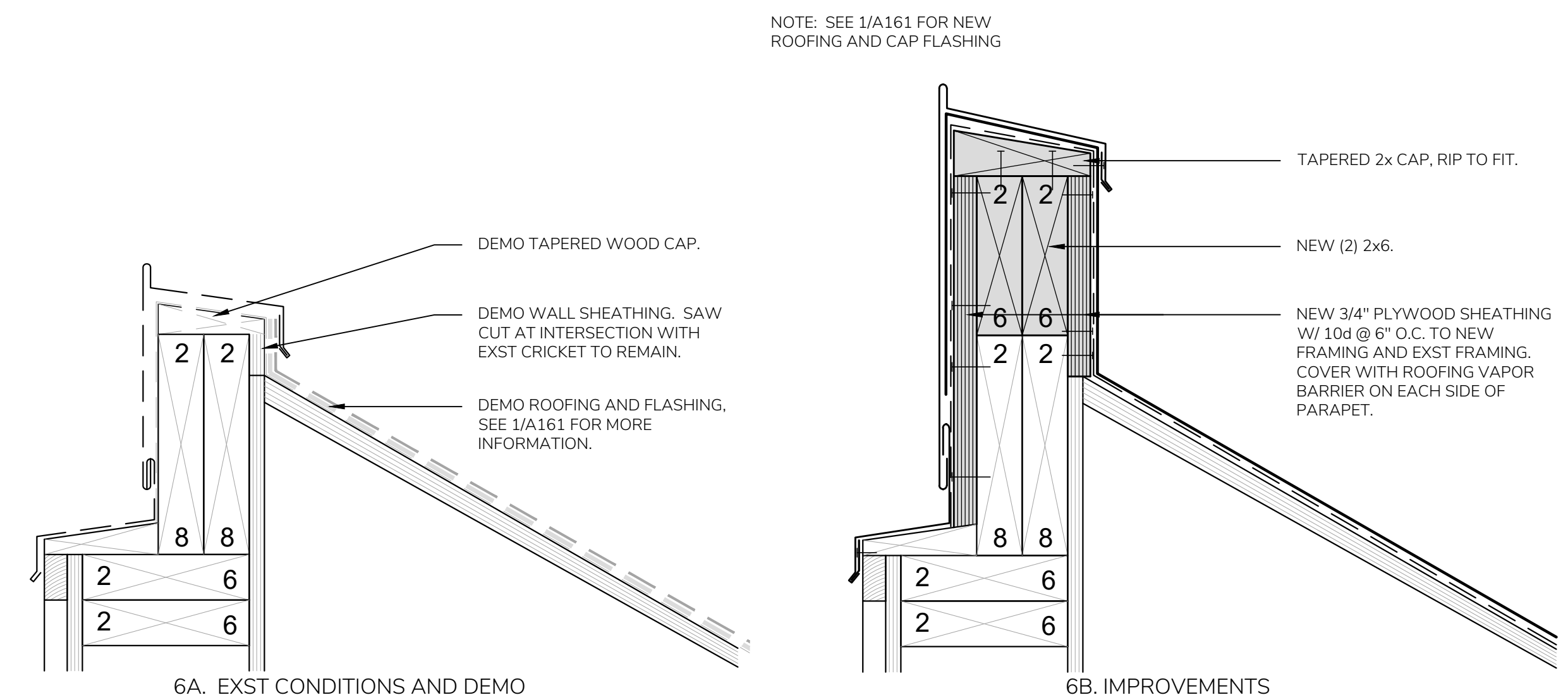
2A. EXST CONDITIONS AND DEMO



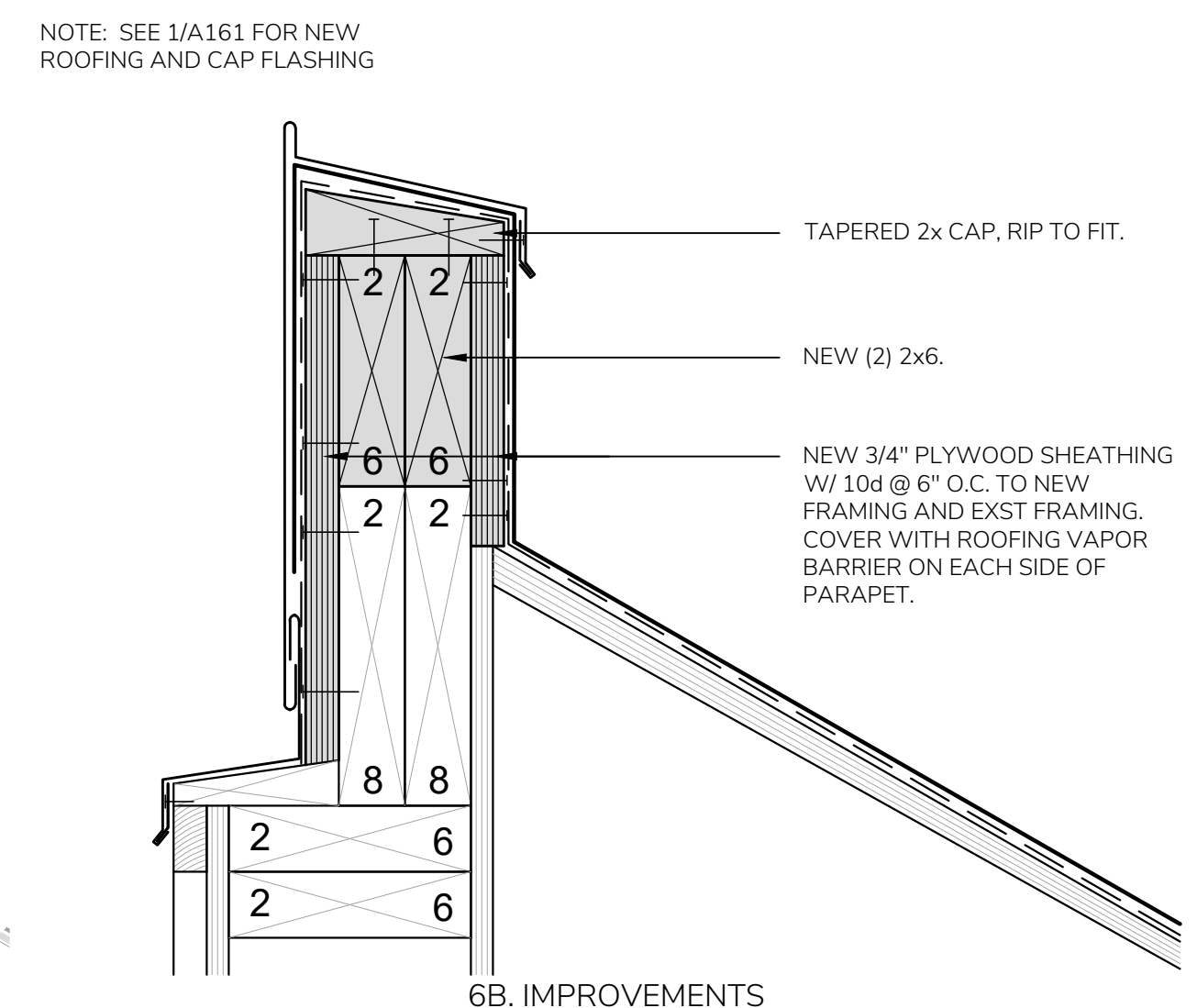
2B. IMPROVEMENTS

**New Roofing at Exst Curb** 2  
Section

3" = 1'-0"



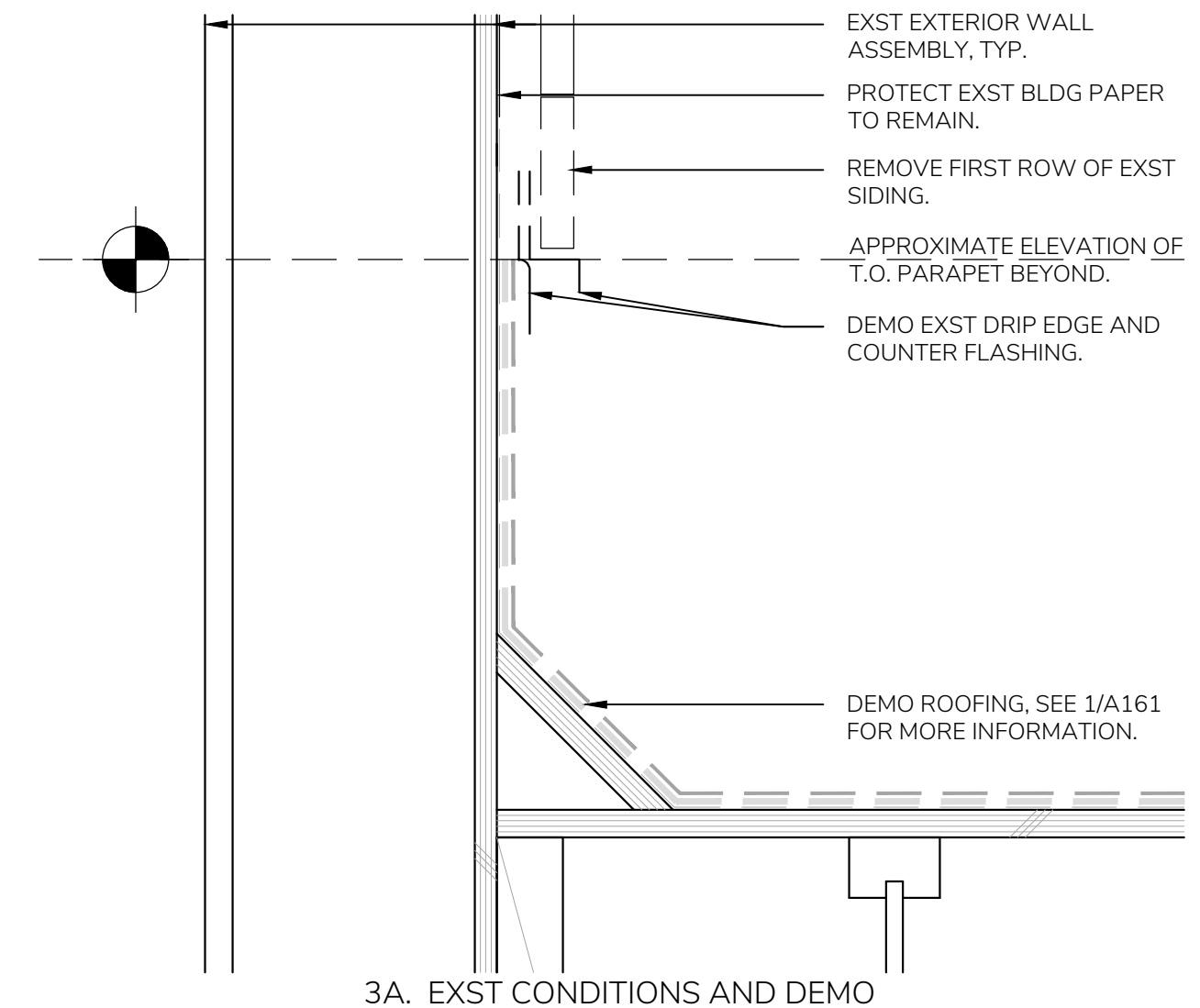
6A. EXST CONDITIONS AND DEMO



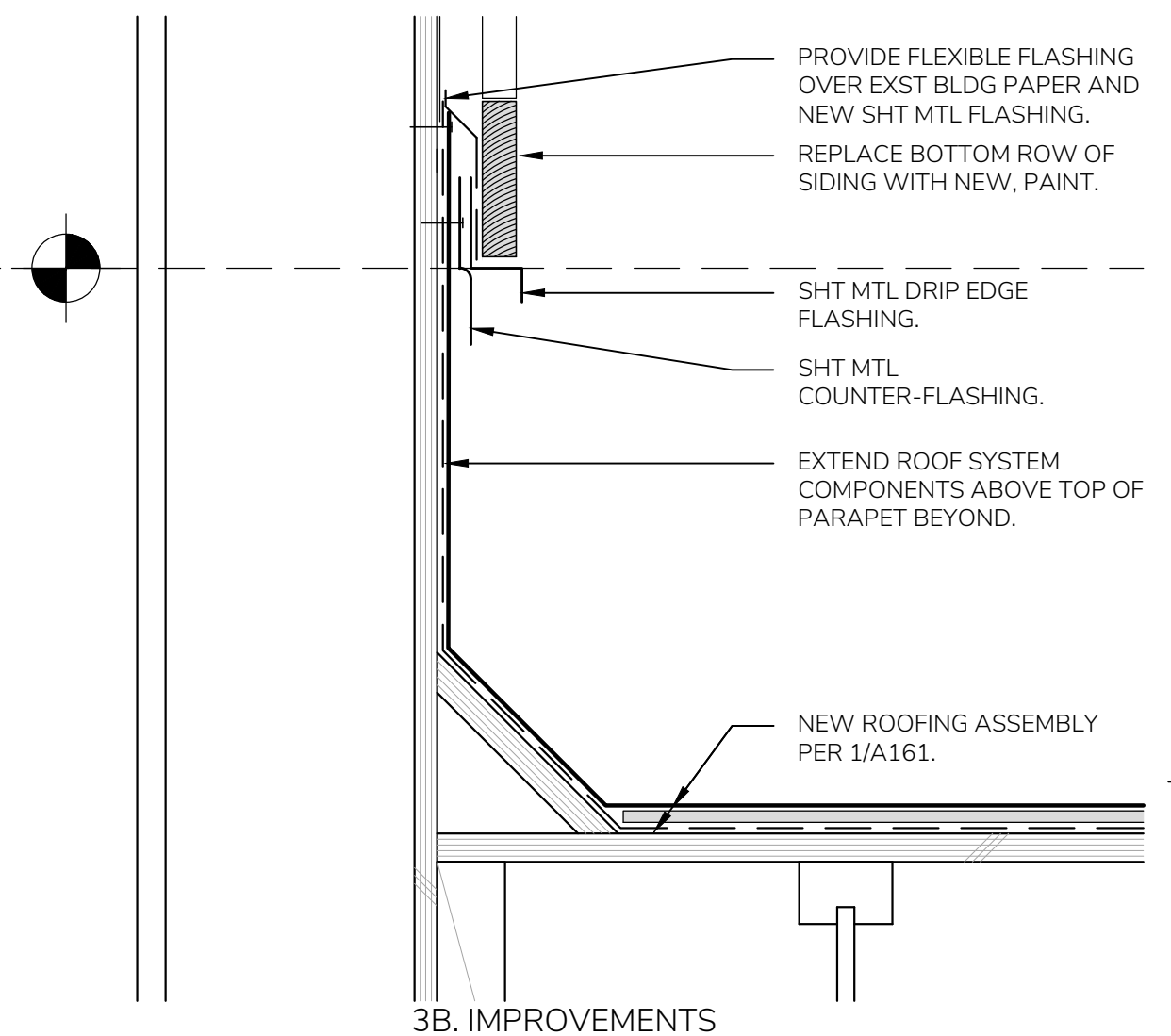
6B. IMPROVEMENTS

**Extend Parapet** 6  
Section

3" = 1'-0"



3A. EXST CONDITIONS AND DEMO



3B. IMPROVEMENTS

**Low Roof to Wall Transition** 3  
Section

3" = 1'-0"

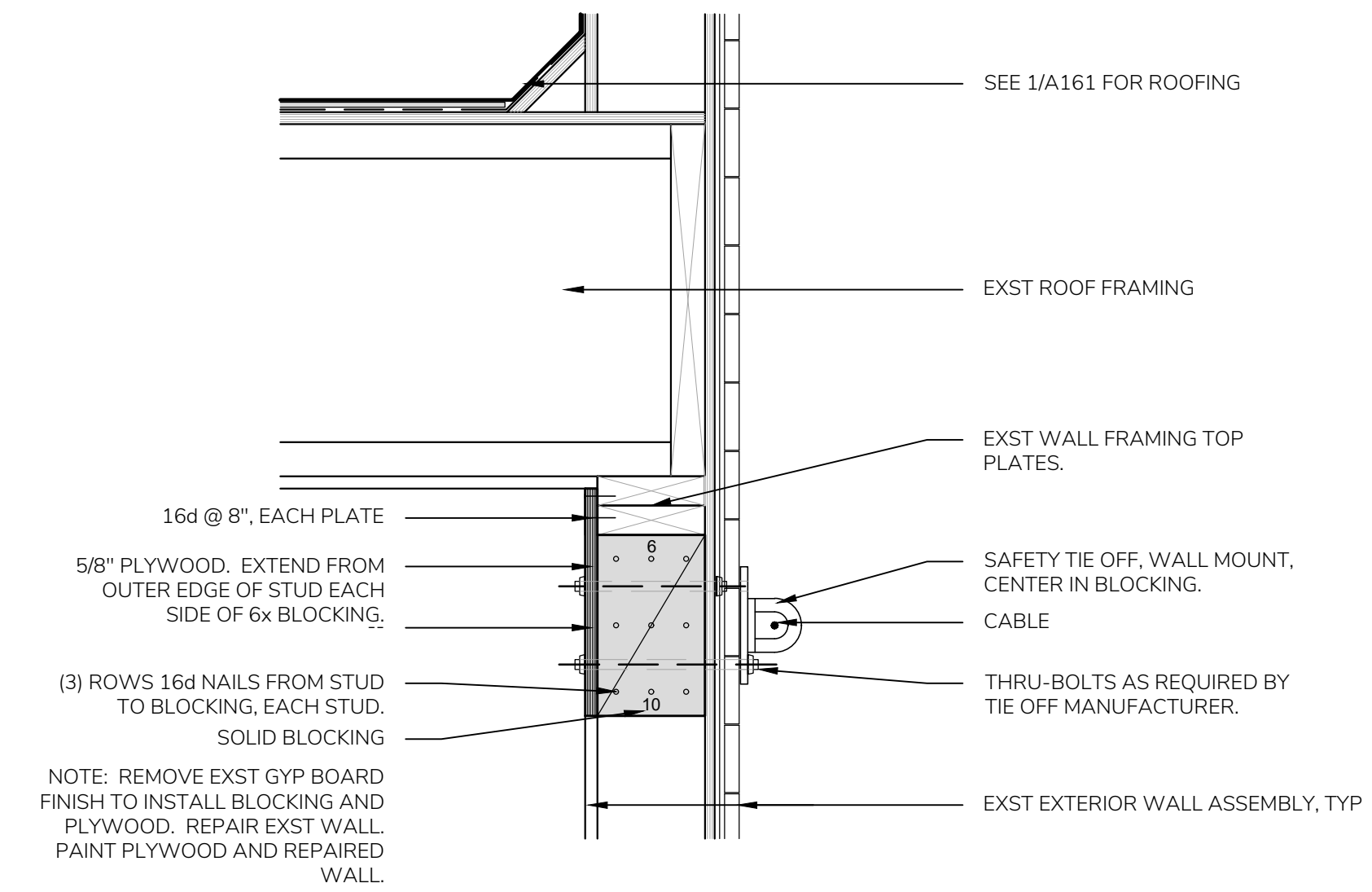
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A361



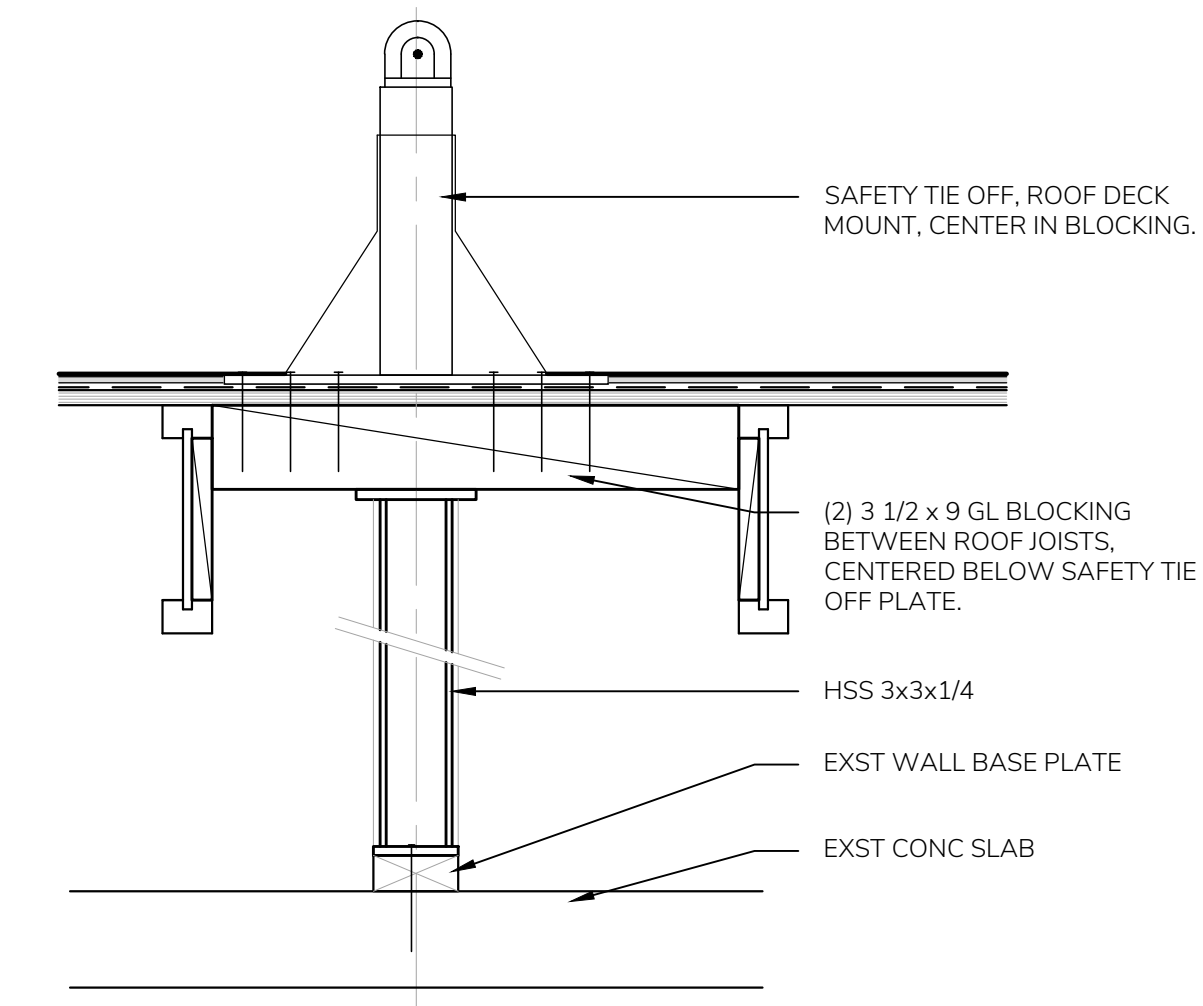


**Safety Tie Off - Wall Mount** SECTION **1**

1 1/2" = 1'-0"

**GENERAL NOTES**

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**Safety Tie Off - Roof Deck Mount** SECTION **2**

1 1/2" = 1'-0"

Bid and Permit Set  
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